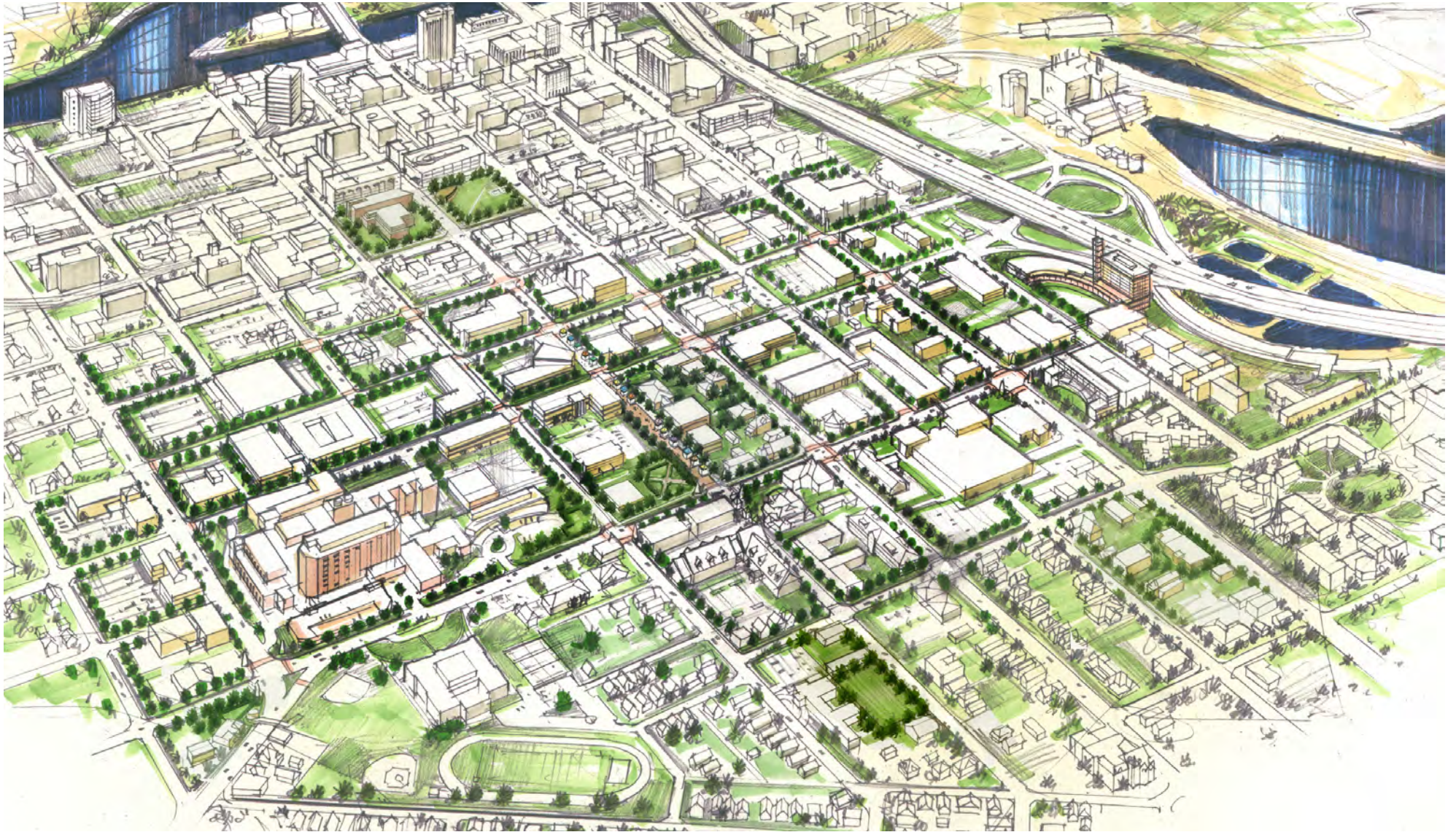# MEDQUARTER VISION

CEDAR RAPIDS, IOWA
MEDQUARTER MASTER DEVELOPMENT PLAN
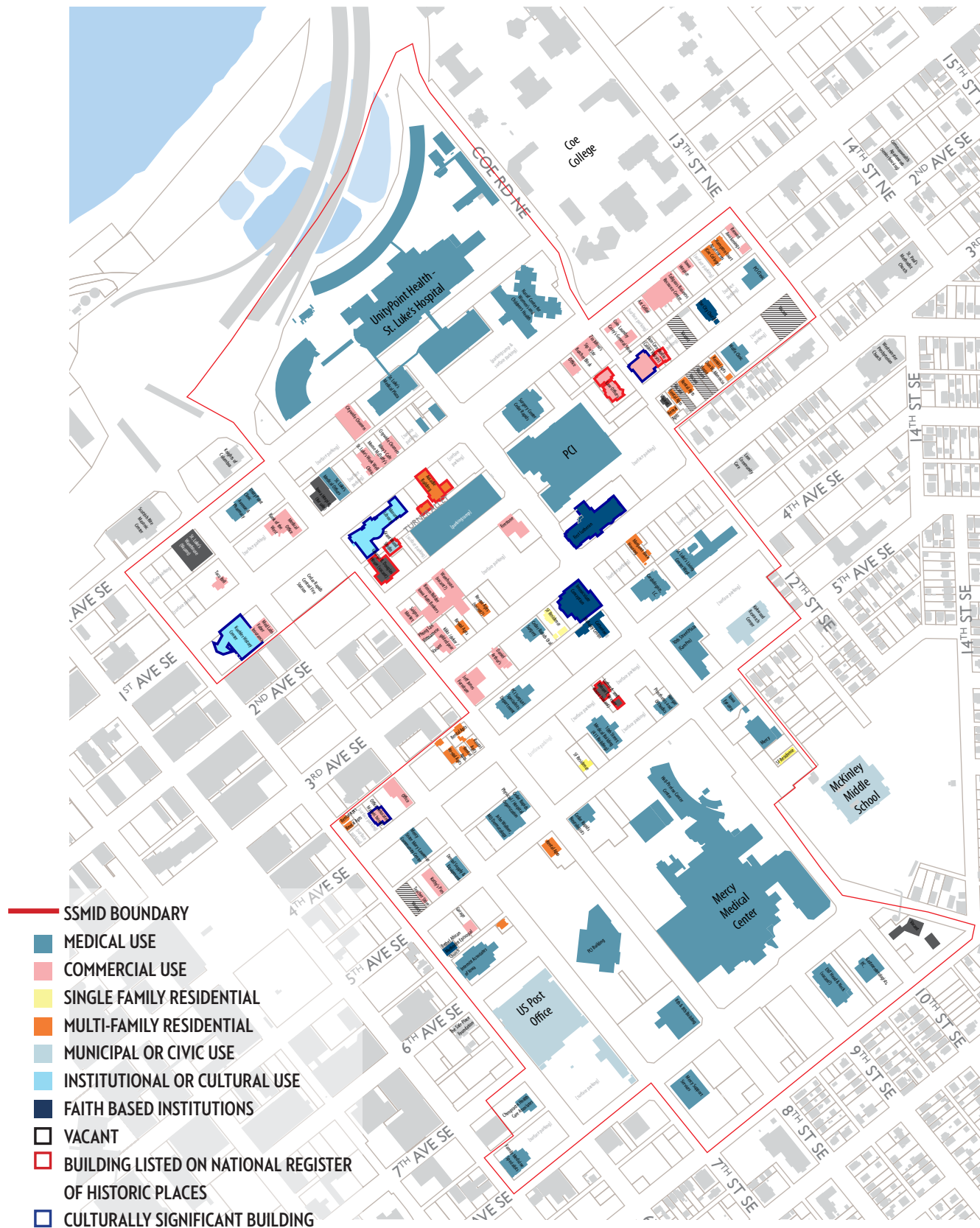
MARCH 5, 2014

MedQUARTER
Regional Medical District.

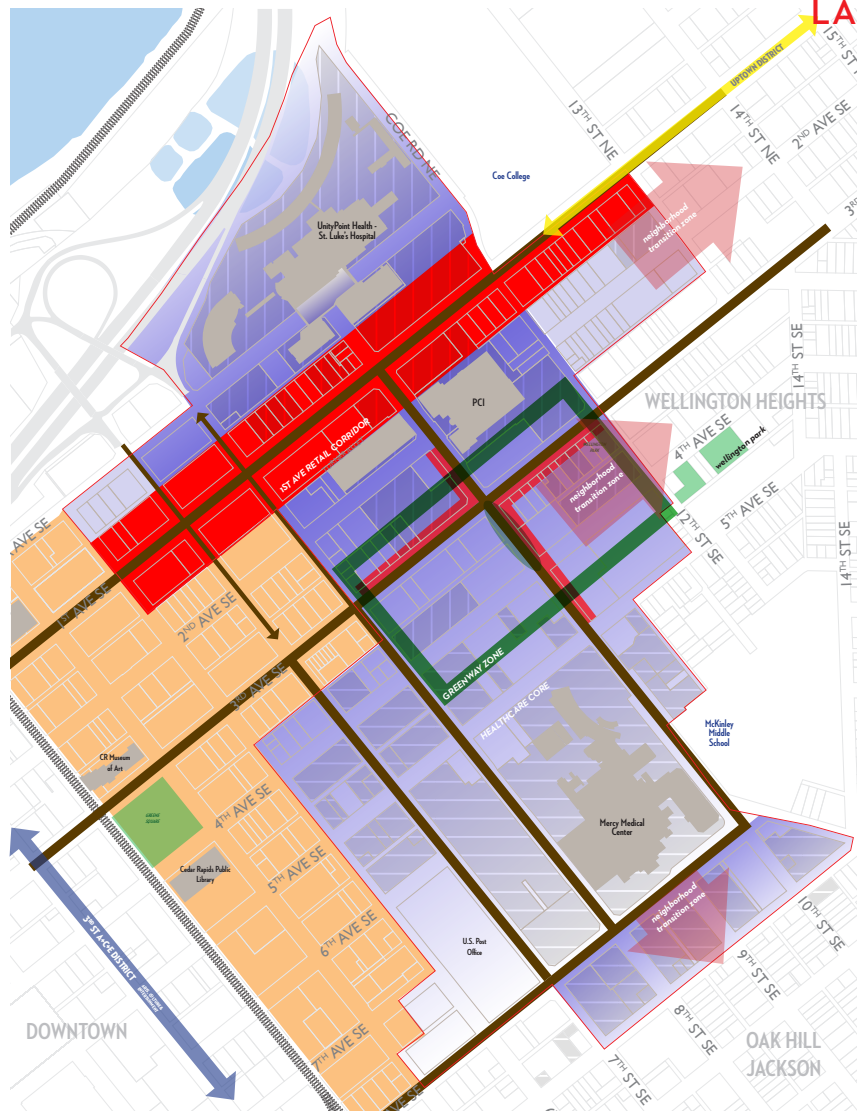ANDERSON BOGERT · WILSON HEALTHCARE DESIGN GROUP · RSA · SB Friedman · LAKOTA

What are the boundaries
of the MedQuarter District?

SSMID BOUNDARY
MEDICAL USE
COMMERCIAL USE
SINGLE FAMILY RESIDENTIAL
MULTI-FAMILY RESIDENTIAL
MUNICIPAL OR CIVIC USE
INSTITUTIONAL OR CULTURAL USE
FAITH BASED INSTITUTIONS
VACANT
BUILDING LISTED ON NATIONAL REGISTER
OF HISTORIC PLACES
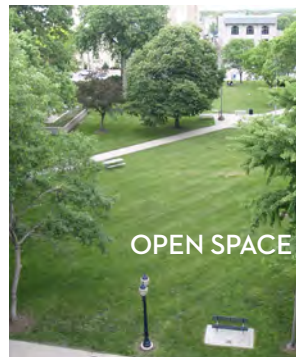CULTURALLY SIGNIFICANT BUILDING

MEDQUARTER VISION
LAND USE STRATEGY

RESIDENTIAL

In MedQuarter:
Institutionally supported employee housing, institutionally supported senior-oriented continuing care retirement communities.

Around MedQuarter:
There may be significant potential for infill multifamily residential on the fringes of the MedQuarter, specifically to the south and west between the MedQuarter and the Downtown.

OFFICE AND HEALTH-CARE

Medical office users and medical-related companies such as insurance will likely drive demand for professional office space. Other office facilities could include an urgent care facility, outpatient clinics, or a wellness center.

OPEN SPACE

A signature central plaza or park will enhance the attractiveness and identity of the MedQuarter, and help support efforts to attract additional development.
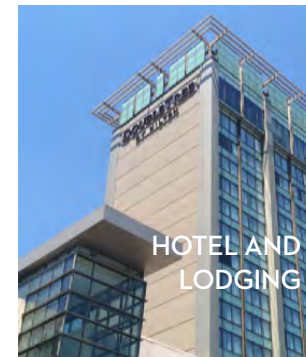
HOTEL AND LODGING

A limited service, extended stay hotel (potentially two in the future) in or near the MedQuarter could serve as a convenient option for families and inpatients. A new hotel should be appropriately positioned to capitalize on demand from MedQuarter and other surrounding activity generators, such as the US Cellular Center or Coe College.

RETAIL AND COMMERCIAL

Efforts to attract retail should be focused primarily on 1st Avenue SE, since it is already an established commercial corridor, carries significant traffic volumes, and provides a direct connection to the Convention Center and Downtown.

A secondary commercial node could be created around a central open space amenity within the MedQuarter. The commercial node and open space would be synergistic, with the commercial uses enlivening the open space area and the draw of the open space generating sales for the commercial uses

Legend:
- RETAIL AND COMMERCIAL
- OFFICE AND HEALTH-CARE
- MIXED-USE/RESIDENTIAL
- HOTEL AND LODGING

Map labels:
CID RD NE, UPTOWN DISTRICT, Coe College, 13TH ST NE, 14TH ST NE, 2ND AVE SE, 3RD, UnityPoint Health - St. Luke's Hospital, PCI, WELLINGTON HEIGHTS, neighborhood transition zone, 4TH AVE SE, wellington park, 5TH AVE SE, 1ST AVE RETAIL CORRIDOR, neighborhood transition zone, 2ND ST SE, 14TH ST SE, GREENWAY ZONE, HEALTHCARE CORE, McKinley Middle School, CR Museum of Art, Mercy Medical Center, Cedar Rapids Public Library, 4TH AVE SE, 5TH AVE SE, 6TH AVE SE, U.S. Post Office, neighborhood transition zone, 9TH ST SE, 10TH ST SE, 3RD PLACE DISTRICT, DOWNTOWN, 7TH AVE SE, 7TH ST SE, 8TH ST SE, OAK HILL JACKSON

LAND USE STRATEGY MAP
CEDAR RAPIDS, IOWA
MEDQUARTER MASTER DEVELOPMENT PLAN

Gateways are recommended to be implemented at all major MedQuarter points of arrival. Gateway elements confirm arrival to the MedQuarter and denote MedQuarter boundaries.

Cultural resources
Protecting some of the existing historic structures will help contribute to the District's overall architectural character. The MedQuarter still boasts several historic buildings and cultural institutions.

MEDQUARTER GREENWAY
Open space within the MedQuarter should be concentrated within the new MedQuarter Greenway. The Greenway is located central to the MedQuarter. The Greenway includes the 3rd Avenue and 4th Avenue right of ways, a landscape setback running along each of these roadways, and any private land that may become available in the future, through sale, gift, or donation, for public open space development.

Building massing and character Each MedQuarter sub-area will exhibit different urban design and density characteristics. Density will be highest in the health-care core. Density and height will transition downward from the northern and western (abutting the downtown) district boundary towards the residential neighborhoods to the south and west.

Streets and the public right of way within the MedQuarter will become an integral part of the District's public open space, fostering a high-quality pedestrian environment and connecting the MedQuarter Greenway and pocket greens as they develop. **Turner Alley**, home to the Grant Wood Studio, is a special alley within the MedQuarter and is the heart of the Grant Wood Cultural District. This alleyway could be upgraded as a shared pedestrian space and integrated as part of the MedQuarter open space network.

UNITY POINT HEALTH
ST. LUKE'S HOSPITAL

Coe College

1ST AVENUE RETAIL CORRIDOR

CULTURAL RESOURCE CLUSTER

MEDQUARTER GREENWAY ZONE

DOWNTOWN

2ND AVENUE

3RD AVENUE

PCI

TRANSITION ZONE

SEASONAL FESTIVAL SPACE

MEDQUARTER GREENWAY ZONE

TRANSITION ZONE

WELLINGTON HEIGHTS

McKinley Middle School

MERCY MEDICAL CENTER

TRANSITION ZONE

9TH AVENUE

PATIENT TOUCH POINTS

1. *Distance Read:* How do I get to my facility?
2. *Site Entry:* Am I in the right place?
3. *Site Orientation:* Which way do I go now?
4. *Parking:* Where is an empty spot?
5. *Drop Off / Pick Up:* Where can I meet you after I park?
6. *Getting to the Facility:* Where am I going and how do I get there?
7. *Exterior Entrance:* Which facility should I go to?
8. *Staff Spaces:* Where can I take a break?
9. *Waiting:* Where can I go play mom?
10. *Outdoor spaces:* Where can I escape and relax?
11. *Cafe:* Where can I grab a bite to eat and chat?
12. *Retail:* Where can I get some flowers for my wife?
13. *Retail:* Do I need anything else while I'm here?

LAKOTA

MedQuarter Overlay District

Overlay District Sections:

- # Building Massing, Orientation and Site Design

  - Pedestrian oriented placement near sidewalk and intersections.
  - Parking to the side or rear where feasible.
  - "Greenway" along 4th Avenue SE—Defined setback to create uniform look and encourage pedestrian amenities.

- # Building Design

  - High quality of design and materials.
  - Encourage public entrances accessible to pedestrians .
  - Building orientation towards the street.

- # Site Furnishings and Landscaping

  - Site furnishings such as seating, planters, bike racks and other features are encouraged throughout the site.

- # Signage

  - Attractive wall signage and monument signs encouraged. New pole signs discouraged.
  - Signage should be incorporated into a building's architecture.
  - Allow approval of a districtwide signage plan for promoting MedQuarter SSMID.

- # Greenway Design Standards

  - For properties along 4th Avenue or 10th Street SE.
  - Required pedestrian connection and landscaping in front yard setback area.
  - Creative use of space encouraged.

MedQuarter Overlay District

Overlay District Overview:

- ## What is affected by the MedQuarter Overlay District?

  - Construction of new buildings.
  - Building additions, to the extent feasible.
  - Changes to the exterior of buildings.

- ## What is NOT affected:

  - Single or two family home construction or renovation.
  - Any interior work on a building.
  - Building maintenance that does not change the exterior.

- ## Design Review Technical Advisory Committee

  - Five member committee tasked with reviewing and providing comment on projects within the overlay district.
  - Comprised of district stakeholders.

- ## Timeline for Review

  - For building permits or site plans which are reviewed and approved by staff:
    - *The DRTAC will meet and make recommendations within 10 business days.*
  - For Land Development projects which go to the City Planning Commission
    - *The DRTAC will review the case prior to the CPC meeting. This will not add time to the project.*

Cedar Rapids - Overlays and Historic Districts

Czech Village New Bohemia Overlay District

Ellis Street Overlay District

Kingston Village Overlay District

2nd & 3rd Avenue Historic District

Redmond Park - Grande Avenue Historic District

Proposed MedQ Overlay District

Feet
0   500 1,000   2,000   3,000   4,000